

Thermographic Survey

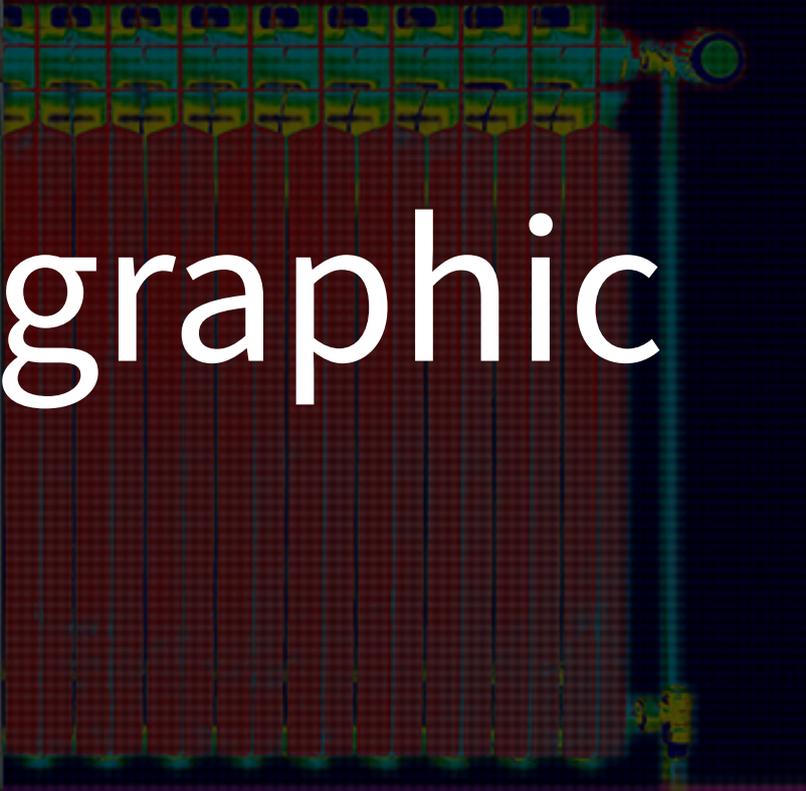
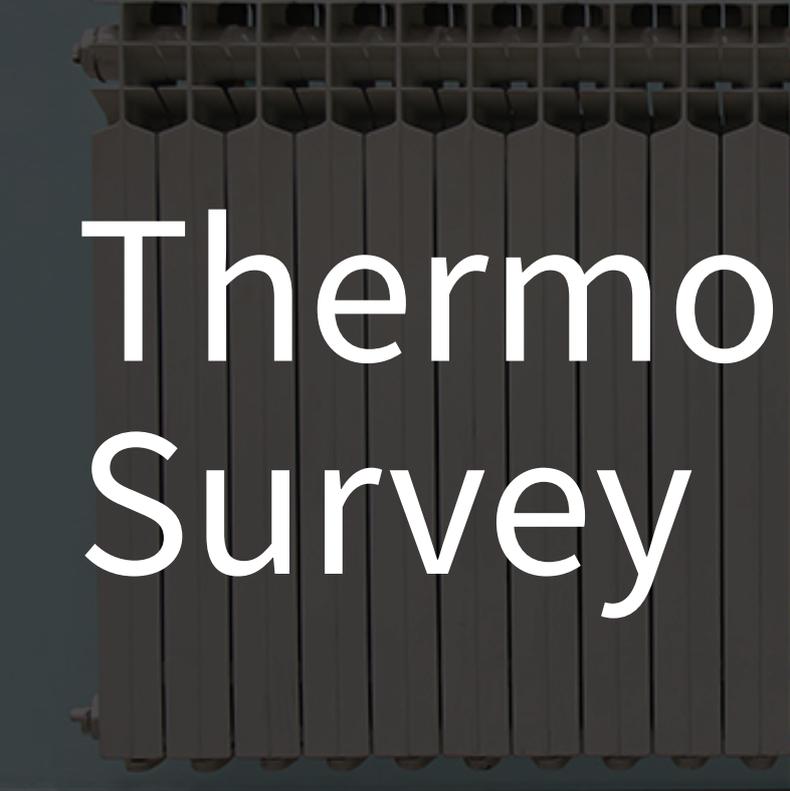


Asbestos Service



Snagging Survey

Thermographic Survey



Roof Survey

Mediation Service

Building Survey



Building Surveyors
of the Year



Most Comprehensive Building
Survey Company



Most Comprehensive Building
& Property Survey Company

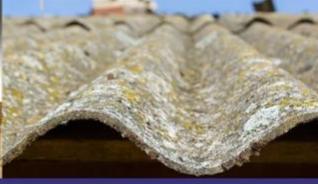
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Customer Details

Client Name: XXXXX XXXXXXXX
Address: XXX XXXX XXXX
X XXXXX XXXXX
XXXXXXXXXX
XXXXXXXXXX
XXX XXX
Purpose of Report: BUILDING HEAT LOSS QUALITATIVE INFRARED ANALISYS
Report Reference: IAS/XXX/20XX
Inspection Date: 22 Jan 20XX
Surveyor Name: XXXXX XXXXX ISO 18436-7 & BINDT CM/GEN
Thermographer Name: XXXXX XXXXX ISO 18436-7 & BINDT CM/GEN
Average Ambient Temperature: 46.4 Fahrenheit
Imager Used: FLIR CX3

Property Image



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Type of property: Semi-Detached

No of bedrooms: 2 Bedrooms

State of repair: Good Condition

Services: Electricity-Gas-Mains Water Supply

Tenure: Presumed Freehold

Location: Semi-Sheltered Location

Property Age: 1900

Understanding Building & Roof IR Imagery

Infrared imagery is often a picture where scales (or shades/colours) represent the differences in temperature and emissivity of objects in the image. As a general rule, objects in the image that are lighter in colour are warmer, and darker objects are cooler. No object in the images is detected via Visible light wavelengths (400 700 NANO meter's) rather, only from infrared wavelengths in the 3000 5000 NANO meter's or 8000 14000 micro meter's range. Lights and other relatively hot objects are very evident, but as a result of their heat not light emissions. When an image is taken with our infrared camera, it is digitally saved to an on board media card. The image may be then modified in a number of ways to enhance its value to the end user. In the case of this report, the building images were digitized, colorized, and then adjusted for colour, contrast and brightness before being scaled and placed in this file.

General Description of Property (External)

- The property is a traditional brick built, semi detached house, situated on a level site adjacent to a residential road.
- The roof was a traditional cut timber, dual pitched hipped roof supporting structure with no under-felt and a natural slate finish with a zinc roll top ridge line.
- The property has been extended outwards to the rear adding a kitchen a lounge area.
- Water was discharged into a Square line PVCU gutter section rainwater system secured to a PVCU roof line with outlet downpipes hold fast fixed to the external elevations.
- The external windows and doors to the front and rear of the property were of a mixture of Timber and UPVC frame construction with sealed double glazed units.

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Image Of Roof Area



Thermal Image Shows High Levels Of Heat Loss Through Then Roof Coverings



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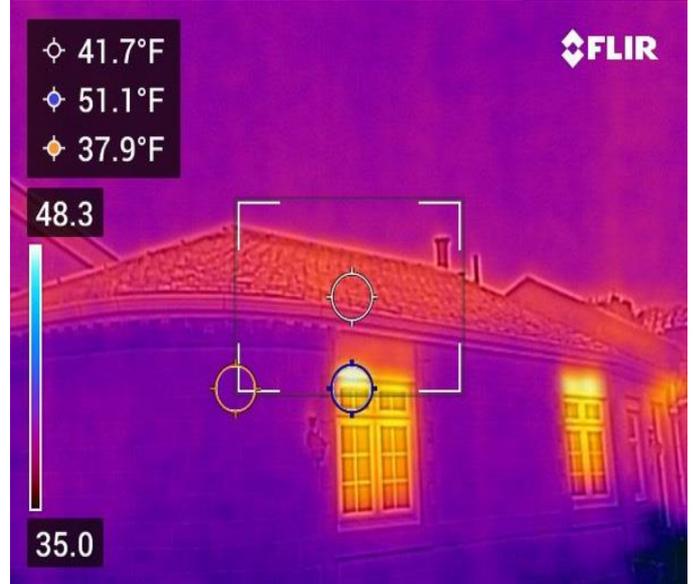
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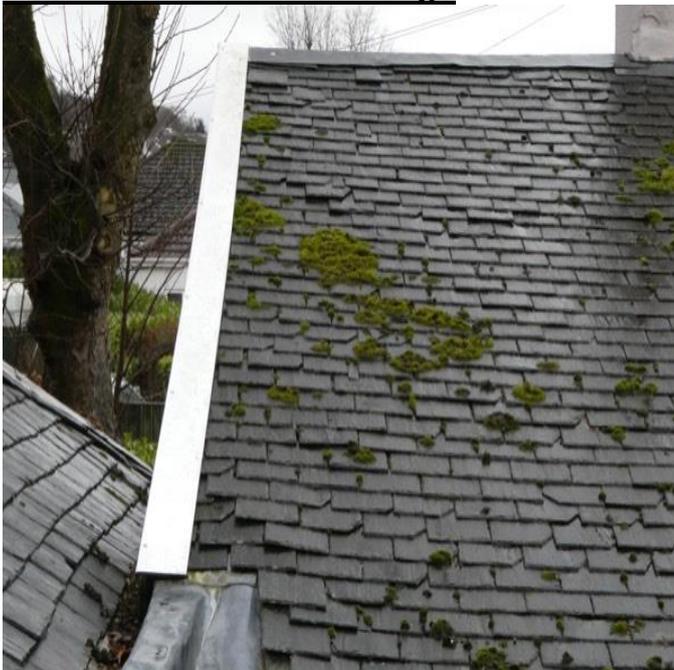
Insufficient Insulation Detected Within The Roof Void



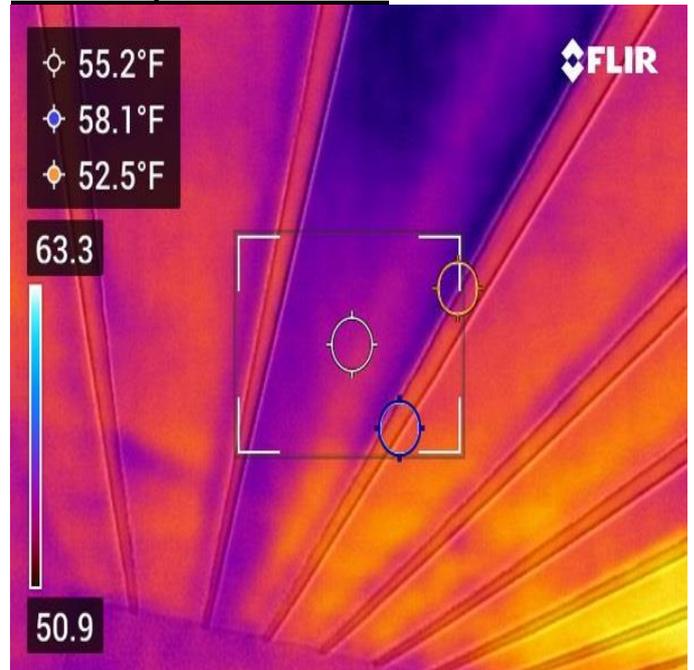
Thermal Image Shows High Levels Of Heat Loss Through The Roof Covering



Roof Area Above The Lounge



Vaulted Ceiling In Lounge Shows Missing Or Inadequate Insulation



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Severe Decay Detected To Lounge Timber Windows



High Levels Of Heat Loss Detected To Lounge Window



Image Of Glazed Roof Panels In Kitchen



High Levels Of Heat Loss Detected To The Kitchen Glazed Panels



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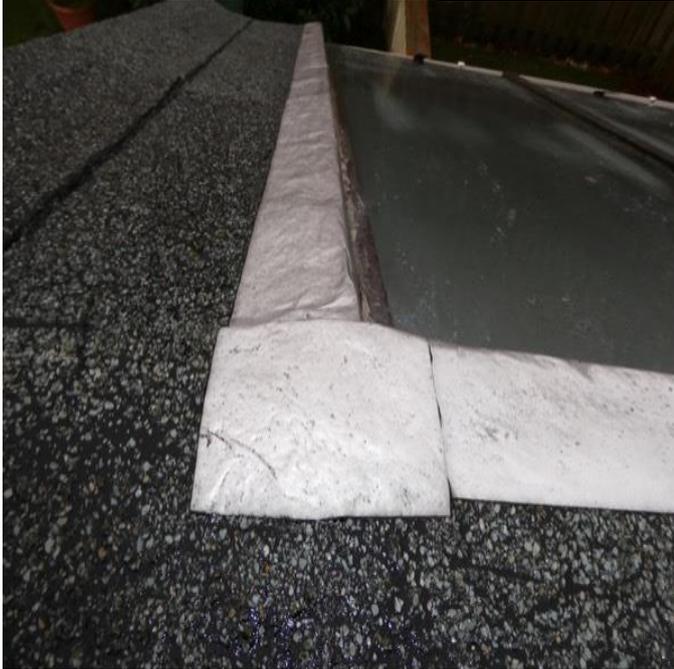
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Aqua Seal Tape Detected To The Kitchen Glazed Panel Felt Roof Joint



Exposed Timber Roof Bar Joints Detected To Kitchen Glazed Panel Roof



Unsealed And Open Facia Abutment Joint To Wall



Unsealed And Open Facia Abutment Joint To Wall



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Timber Construction Front Entrance Door



High Levels Of Air Filtration Detected To The Base Of The Door Threshold



Timber Construction Rear Entry Door



High Levels Of Air Filtration Detected Through The Rear Door





Findings

- A Thermal image inspection of the roof covering revealed high levels of thermal heat loss emissivity to the roof area inspected suggesting missing or insufficient insulating materials, these will require improvement to meet with current building regulations.
- Inspection within the loft space has found thermal anomalies in loft space area at the time of survey, inspection revealed missing and insufficient insulation material within the ceiling ties resulting in significant heat loss through the room ceilings exiting through the roof coverings.
- Consideration should therefore be given to ensuring that the wool insulation material has an even distribution level of 300mm depth to meet with current building regulation standards.
- A Thermal image inspection of the external elevation revealed high levels of thermal heat loss emissivity to the wall area inspected suggesting missing or insufficient insulating materials, these will require improvement to meet with current building regulations.
- The 2014 Building Regulations state that the U-values that building materials must meet, A U-value relates to how effective an insulator or material is. The required U-value for new or replacement flat roofs is 0.20W/m²- this refers to the rate of heat flow, in watts, through 1m² of roofing material. The U-value reflects the increased heat retention capabilities of insulation over the years, which has led to lower energy costs and reduced CO₂ emissions.
- Inspection however has revealed excessive energy loss emissivity around the window and door openings, the dominant cause of break down is confirmed to be resultant from distortion of the UPVC window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Inspection of the window and door frames revealed decay and distortion to the timber construction window and door frames due to age.
- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to all window and door opens to reduce excessive energy loss through the building envelope.
- Consideration should also be given to the replacement of the existing timber construction windows and doors to a modern thermally efficient UPVC high performance secure locking system to enhance the energy efficiency of the building envelope.
- Consideration should also be given to the replacement of the plywood panels located above the front elevation windows to a modern PVCU cladding system.



General Description of Property (Internal)

Hall

- Following inspection it was noted that the ceiling and walls had a plaster decoration finish, wall mounted radiator and a mixture of timber and UPVC windows and doors.

Hallway



High Levels Of Air Filtration Around The Window Location



Findings

- Inspection revealed excessive energy loss emissivity around the window and door openings, the dominant cause of break down is confirmed to be resultant from distortion of the window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Inspection of the door frames revealed decay and distortion to the timber construction door frames due to age.
- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to all window and door opens to reduce excessive energy loss through the building envelope.
- Consideration should also be given to the replacement of the existing timber construction doors to a modern thermally efficient UPVC high performance secure locking system to enhance the energy efficiency of the building envelope.



Kitchen

- Following inspection it was noted that the ceiling and walls had a plaster decoration finish, wall mounted radiator, timber construction windows and door.
- The Kitchen has a range of matching fitted base and wall units with modern laminated worktops.

Kitchen Area



Heat Loss Detected To The Glazed Roof, Windows And Entrance Door





Findings

- Inspection revealed excessive energy loss emissivity around the vertical and sloping window and door openings.
 - Inspection of the door frames revealed decay and distortion to the timber construction door frames due to age.
 - Consideration should also be given to the replacement of the existing timber construction doors to a modern thermally efficient UPVC high performance secure locking system to enhance the energy efficiency of the building envelope.
 - Consideration should also be given to replacement of the felt flat roof due to age related decay, this would facilitate the introduction of additional Celotex insulating boards to further enhance the room energy efficiency reducing heat loss significantly
-



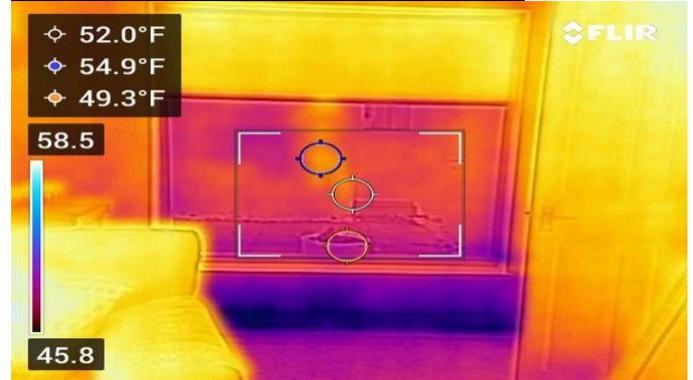
Lounge

- Following inspection it was noted that the ceiling and walls had a plaster decoration finish, wall mounted radiator and a mixture of timber and UPVC windows.

Lounge Area



Thermal Image Shows High Levels Of Heat Loss Around Windows And Walls



Findings

- Inspection revealed excessive energy loss emissivity around the window and door openings, the dominant cause of break down is confirmed to be resultant from distortion of the window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Inspection of the window frame revealed decay and distortion to the timber construction window frames due to age.
- Thermal images show missing or insufficient insulation to the vaulted ceiling area confirmed by large areas of cold spots detected, recommend that the ceiling is over boarded with the introduction of a 50-75mm Celotex insulation PIR board to enhance the room energy efficiency and increase warm air retention.
- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to all window and door opens to reduce excessive energy loss through the building envelope.
- Consideration should also be given to the replacement of the existing timber construction window to a modern thermally efficient UPVC high performance secure locking system to enhance the energy efficiency of the building envelope.



Bedroom 1

- Following inspection it was noted that the ceiling and walls had a plaster decoration finish, wall mounted radiator and UPVC window.

Bedroom



Thermal Image Shows High Levels Of Heat Loss And Excessive Air Filtration



Findings

- Inspection revealed excessive energy loss emissivity around the window and opening, the dominant cause of break down is confirmed to be resultant from distortion of the window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Thermal images show missing or insufficient insulation to the ceiling area confirmed by large areas of cold spots detected.
- Consideration should therefore be given to ensuring that the wool insulation material has an even distribution level of 300mm depth to meet with current building regulation standards.
- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to the window sash to reduce excessive energy loss through the building envelope.



Bedroom 2

- Following inspection it was noted that the ceiling and walls had a plaster decoration finish, wall mounted radiator and UPVC window.

Bedroom 2



Thermal Image



Findings

- Inspection revealed excessive energy loss emissivity around the window and opening, the dominant cause of break down is confirmed to be resultant from distortion of the window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Thermal images show missing or insufficient insulation to the ceiling area confirmed by large areas of cold spots detected.
- Consideration should therefore be given to ensuring that the wool insulation material has an even distribution level of 300mm depth to meet with current building regulation standards.
- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to the window sash to reduce excessive energy loss through the building envelope.

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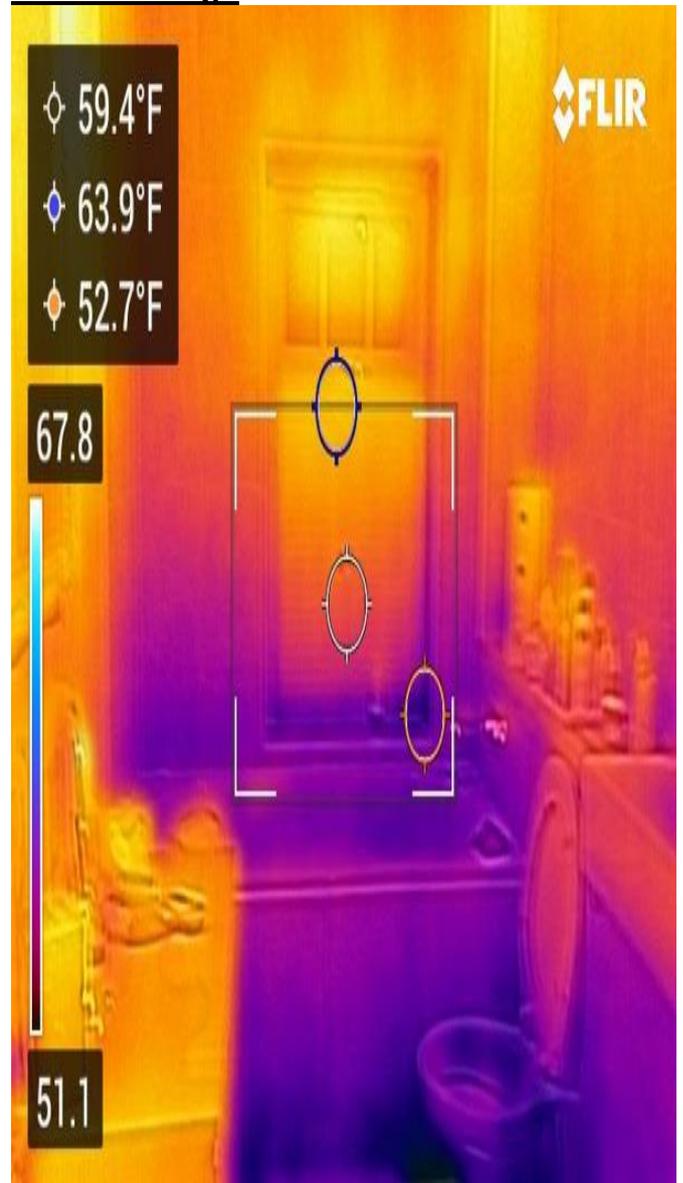
Bathroom

- Following inspection it was noted that the ceiling had an emulsion smooth plaster finish, painted architraves, ceramic wall tiles, Obscure PVCU window, Basin, WC, Bath.

Bathroom



Thermal Image





Findings

- Inspection revealed excessive energy loss emissivity around the window and opening, the dominant cause of break down is confirmed to be resultant from distortion of the window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Thermal images show missing or insufficient insulation to the ceiling area confirmed by large areas of cold spots detected.
- Consideration should therefore be given to ensuring that the wool insulation material has an even distribution level of 300mm depth to meet with current building regulation standards.
- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to the window sash to reduce excessive energy loss through the building envelope.

Analysis and Recommendations

- Inspection within the loft space has found thermal anomalies in loft space area at the time of survey, inspection revealed missing and insufficient insulation material within the ceiling ties resulting in significant heat loss through the room ceilings exiting through the roof coverings.
- Consideration should therefore be given to ensuring that the wool insulation material has an even distribution level of 300mm depth to meet with current building regulation standards.
- A Thermal image inspection of the external elevation revealed high levels of thermal heat loss emissivity to the wall area inspected suggesting missing or insufficient insulating materials, these will require improvement to meet with current building regulations.
- Consideration should be given to the removal of the externally facing plaster wall surfaces and the introduction of a Celotex PIR insulation board.
- Alternatively over boarding the externally facing walls with a Kingspan Kooltherm board.
- Inspection however has revealed excessive energy loss emissivity around the window and door openings, the dominant cause of break down is confirmed to be resultant from distortion of the UPVC window frame opening sashes, inefficient window seals with holed and missing mortar and mastic seal detected to the frame perimeters at the reveal abutment.
- Inspection of the window and door frames revealed decay and distortion to the timber construction window and door frames due to age.



- Recommend the window frames/seals are replacement or upgraded to a more thermally efficient grade with cam mechanism adjustments carried out mitigate the Heat Loss and create an enhanced compressed seal to all window and door opens to reduce excessive energy loss through the building envelope.
- Consideration should also be given to the replacement of the existing timber construction windows and doors to a modern thermally efficient UPVC high performance secure locking system to enhance the energy efficiency of the building envelope.
- Consideration should also be given to the replacement of the plywood panels located above the front elevation windows to a modern PVCU cladding system.
- The 2014 Building Regulations state that the U-values that building materials must meet, A U-value relates to how effective an insulator or material is. The required U-value for new or replacement flat roofs is 0.20W/m²- this refers to the rate of heat flow, in watts, through 1m² of roofing material. The U-value reflects the increased heat retention capabilities of insulation over the years, which has led to lower energy costs and reduced CO₂ emissions.

THERMAL BRIDGING GUIDANCE

- Thermal bridging in the UK, as in other countries, refers to the unintended and often inefficient transfer of heat between the inside and outside of a building through building components that have a higher thermal conductivity than the surrounding materials.
- This can result in energy loss and reduced energy efficiency in a building, as well as potential issues like condensation and mould growth.
- In the UK, thermal bridging is a significant concern due to the country's temperate climate and the need for buildings to maintain comfortable indoor temperatures in both winter and summer.

Here are some key points about thermal bridging in the UK:

- **Building Regulations:** The UK has building regulations in place to address thermal bridging and energy efficiency in construction. These regulations set standards for energy performance, insulation, and thermal bridging. The most recent version, as of my knowledge cutoff date in 2022, is Part L of the Building Regulations, which covers energy efficiency requirements for new and existing buildings.

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- **U-Values:** In the context of thermal bridging, U-values are often used to measure the heat transfer through building elements, such as walls, roofs, and floors. A lower U-value indicates better insulation and reduced heat loss. Meeting U-value requirements is essential for compliance with UK building regulations.
- **Accredited Construction Details:** The UK provides a list of Accredited Construction Details (ACDs) that offer guidance on how to minimise thermal bridging in building construction. These details provide approved methods and designs for various building elements to meet energy efficiency standards.
- **Thermal Bridging Calculations:** In the UK, thermal bridging calculations are an essential part of building design and energy assessments. These calculations help identify and quantify heat loss through various construction elements and determine compliance with energy efficiency standards.
- **Common Thermal Bridge Solutions:** To address thermal bridging, builders often use insulation materials, such as rigid insulation boards or mineral wool, to wrap around structural elements like steel beams or concrete slabs. Additionally, thermal breaks and insulated cladding systems are employed to reduce heat transfer at junctions, where different building components meet.
- **Building Certification Schemes:** In the UK, various building certification schemes, such as BREEAM (Building Research Establishment Environmental Assessment Method) and Passivhaus, focus on energy efficiency and thermal performance. These certifications promote sustainable and energy-efficient building practices, which often include addressing thermal bridging issues.
- It's worth noting that building regulations and practices can evolve over time, and it's important to check for the latest standards and guidelines when designing or renovating buildings in the UK. Additionally, considerations for thermal bridging should be integrated into the design and construction process to ensure optimal energy efficiency and thermal performance.
- Preventing thermal bridging involves minimising or eliminating the pathways for heat to flow through a building's structural elements, which have higher thermal conductivity than the surrounding insulation. Here are several strategies to prevent thermal bridging:

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- **Insulation:** Proper insulation is crucial for preventing thermal bridging. Insulate building components, such as walls, roofs, and floors, effectively. Choose insulation materials with low thermal conductivity, like fibreglass, mineral wool, foam board, or cellulose insulation. Install insulation continuously without gaps or voids to maintain a thermal barrier.
- **Insulated Construction Details:** Use construction details and techniques that incorporate insulation around structural elements, such as steel beams, concrete slabs, and window frames. Insulated cavity closers, cavity wall ties, and insulated lintels are examples of products designed to minimise thermal bridging in specific areas.
- **Thermal Breaks:** Introduce thermal breaks, which are materials with low thermal conductivity, at junctions where structural elements meet. For example, thermal breaks can be inserted between the ends of steel or concrete elements to disrupt the heat transfer path.
- **Airtightness:** Ensure the building envelope is airtight to prevent cold air from infiltrating and warm air from escaping. Use airtight membranes, tapes, and sealants to seal gaps and joints in the building's structure, including around windows, doors, and penetrations.
- **Advanced Framing Techniques:** Use advanced framing techniques, such as staggered studs or double studs, to reduce the amount of wood or metal in walls and roofs. This reduces thermal bridging through framing members.
- **Sheathing and Continuous Insulation:** Install a layer of sheathing or rigid insulation on the exterior of the building envelope to create a continuous thermal barrier. This helps reduce heat transfer through framing members and provides additional insulation.
- **Thermally Efficient Windows and Doors:** Select energy-efficient windows and doors that have low U-values and use insulated frames to minimise thermal bridging through these components.
- **Internal Wall Insulation:** In cases where it's challenging to insulate the exterior of a building, internal wall insulation can be an option. This involves adding insulation to the interior surface of external walls, which creates a thermal barrier but may require careful detailing to minimise thermal bridging at junctions.

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- **Use Accredited Construction Details:** Utilise Accredited Construction Details (ACDs) or equivalent guidelines provided by local building authorities to ensure that construction methods and details are compliant with energy efficiency standards and minimise thermal bridging.
- **Continuous Monitoring:** During construction and renovations, it's essential to monitor the installation of insulation, airtightness measures, and other thermal bridging prevention strategies to ensure that the building's thermal performance meets the intended design.
- **Consult with Experts:** Consulting with architects, engineers, or energy consultants with experience in energy-efficient and low-thermal-bridging construction techniques can help ensure that best practices are implemented.
- **Preventing thermal bridging is a critical aspect of energy-efficient building design and construction. By incorporating these strategies, you can reduce heat loss, improve energy efficiency, and create a more comfortable and sustainable building environment.**

General Repairs and Advice for Preventing Heat Loss:

- **Addressing Defective Seals:** Urgent repair and resealing of windows and door frames throughout the property to prevent cold air infiltration.
- **Cavity Wall Insulation:** Investigate and rectify potential issues with insulation distribution, especially in areas showing negative temperature variations.
- **Addressing Dampness and Water Ingress:** Take immediate steps to fix water ingress issues contributing to dampness, particularly in the porch and bedrooms, to improve room conditions and prevent heat loss.
- **Ensuring Proper Ventilation:** Enhance ventilation across all rooms to mitigate internal condensation issues, reducing humidity and associated dampness.
- **Continuous Heating Schedule:** Encourage maintaining a consistent heating schedule to ensure more stable room temperatures and avoid extreme fluctuations, especially during colder months.

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- **Radiator Sizing:** Evaluate and ensure radiators are appropriately sized for each room to achieve efficient heating and temperature regulation.

Thermal Imaging

- Thermal imaging surveys in the UK can offer several benefits, but they also have some limitations. Here are the pros and cons of thermal imaging surveys:

Pros:

- **Detecting Energy Loss:** Thermal imaging surveys can identify areas of heat loss in buildings, helping to improve energy efficiency. This information can be used to prioritize insulation improvements and reduce heating costs.
- **Finding Electrical Issues:** Thermal imaging can uncover electrical faults such as loose connections, overloaded circuits, or damaged components. Detecting these issues early can prevent equipment failure, electrical fires, and potential safety hazards.
- **Identifying Moisture Intrusion:** Thermal imaging surveys can reveal moisture intrusion and water leaks in buildings. This can help identify potential areas of mold growth, prevent further damage, and preserve the structural integrity of the building.
- **Non-Invasive:** Thermal imaging surveys are non-invasive, meaning they do not require physical contact with the surveyed objects. This makes them a quick and efficient method for assessing large areas or hard-to-reach spaces.
- **Rapid Assessment:** Thermal imaging surveys provide real-time results, allowing for immediate identification of potential issues. This enables prompt action and prevents further damage or complications.

Cons:

- **Limited Precision:** Thermal imaging surveys provide a qualitative assessment rather than precise measurements. The images show temperature variations, but they do not provide detailed numerical data about the extent of the issue or its cause.
- **Dependent on Conditions:** The effectiveness of thermal imaging surveys can be influenced by external factors such as ambient temperature, humidity, and the presence of air

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currents. Extreme weather conditions or obstructions can impact the accuracy of the results.

- **False Positives/Negatives:** Thermal imaging surveys may produce false positives or false negatives. Certain materials with high emissivity can give inaccurate readings, while some issues may not be apparent on thermal images, leading to potential oversight.
- **Professional Interpretation:** Thermal imaging surveys require the expertise of trained professionals for accurate interpretation. Without proper analysis and understanding of the images, the results may be misinterpreted, leading to incorrect conclusions or recommendations.
- It's important to note that while thermal imaging surveys can provide valuable insights, they are not a standalone solution. They are often used in conjunction with other inspection methods to ensure a comprehensive assessment of the property or system being surveyed.

This Thermographic Survey is produced by a Qualified Surveyor who has written this report for you to use. If you decide not to act on the advice in this report, you do this at your own risk.

The Thermographic Survey aims to:

- Help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading of the property.
- Provide detailed advice on condition.
- Describe the identifiable risk of potential or hidden defects.
- Where practicable and agreed, provide an estimate of costs for identified repairs.
- Make recommendations as to any further actions or advice which need to be obtained before committing to purchase.
- Where estimated repair costs have been given, these are very basic estimates based on my experience in dealing with these types of repairs and the costs involved.
- It is always recommended that you engage the services of at least three contractors to ensure you receive value for money.
- No below ground investigations have been carried out and no drainage survey has been undertaken.



Limitations to Survey/Terms & Conditions

These Terms and Conditions govern the provision of building survey reports supplied by MyHICH Ltd/ HICH Ltd to the client. By engaging our services, the Client fully accepts these Terms and Conditions.

Scope of Services

The Company prepares building survey reports utilising information provided by the Client. Such Reports may contain data relating to building conditions, valuations, and potential risks or issues. The Company endeavours to ensure the accuracy of the Reports; however, the reliability of such data is dependent upon the quality and completeness of information supplied by the Client.

Client Responsibilities

It is the responsibility of the Client to furnish accurate, comprehensive, and timely information necessary for the preparation of the Reports. The Client acknowledges that failure to do so may adversely impact the quality and accuracy of the Reports. Furthermore, the Client is expected to verify any information or conclusions presented in the Reports prior to making decisions that rely upon them.

Limitations of Liability

The Company shall not be liable for any loss, damage, or expense arising from reliance on the Reports, including, but not limited to, any information contained therein.

Our report on the services installations will be based on a cursory inspection only in order to include a general description. We will not test any installations. Unless otherwise instructed, we will not commission the inspection or testing of any installations by specialist contract engineers.

If we find visual evidence to suggest that there may be problems with any installations in part or in whole, or if they are particularly sophisticated or complex, we will advise you accordingly and make recommendations for further investigations or testing by specialists.

This was a non-intrusive inspection and limited to commenting upon the extent of damage noted and inspected during the visible inspection at that time.

Based on an inspection as defined below, the surveyor will advise the client by means of a written report as to his opinion of the visible condition and state of repair of the subject property.

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The surveyor will inspect as much of the surface area of the structure as is possible but will not inspect those areas which are covered, unexposed or inaccessible.

The surveyor will inspect the roof spaces if there are available hatches. The surveyor will have a ladder of sufficient height to gain access to a roof hatch or roof area not more than 5m above ground level.

It may therefore not be possible to inspect roofs above this level without a suitable scaffold or access platform. In such cases pitched roofs, may be inspected with the aid of zoom Optics. The surveyor will follow the guidance given in surveying safety issued by RICS in April 1991.

This incorporates the guidance given in Guidance note GS31 on the safe use of ladders and step ladders issued by the Health & Safety Executive.

The Company assumes that the property is not subject to unusual or exceptionally onerous restrictions or covenants affecting its structure or reasonable enjoyment. It is further assumed that all relevant bylaws, building regulations, and required consents have been obtained.

The Company will not undertake verification of such consents; the Client and their legal representatives are advised to make all necessary enquiries. Drawings or specifications will not be inspected by the Company.

Additionally, it is presumed the property is unaffected by matters that would be revealed through a local search (or equivalent), replies to standard enquiries, or statutory notices, and that neither the property nor its condition, usage, or intended usage is or will be unlawful.

The Client agrees to remit payment for the agreed fee associated with the Report, along with any expressly agreed disbursements.

Survey Reports

All building survey reports issued by MyHICH Ltd/HICH Ltd are valid for a period of three (3) months from the date of issuance.

After this period, the findings and recommendations contained within the report may no longer be deemed reliable or applicable due to potential changes in building condition, regulations, or other relevant factors.

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Clients are encouraged to seek a new survey if more than three months have elapsed since the report's issuance.

The Report is intended solely for the use of the named Client and remains confidential to the Client and their professional advisors. Any reliance by third parties is entirely at their own risk.

The Report is not to be shared or reproduced, in whole or in part, with any third party without prior written consent from the Company.

Note:

A building survey report does not automatically include advice concerning valuation or reinstatement cost assessment/replacement for insurance purposes. Should such opinions or assessments be required, arrangements must be agreed upon with the company in advance.

Caution in Open-Source Data Application

While integrating open-source data into our survey reports provides valuable insights and enhances our analyses, it is vital to approach such data with caution. Open-source datasets can be incomplete, outdated, or may exhibit biases that could skew interpretations and results. Users should be aware of the context in which the data was collected and exercise careful judgment in assessing the relevance and reliability of the sources utilized.

Verification and Validation of Sources

The credibility of open-source data can vary significantly based on its origin and methodology. Before incorporating such data into our reports, it is imperative to conduct thorough validation of the sources to ensure accuracy.

We recommend that users cross-reference with other reliable datasets or literature to substantiate findings derived from open-source material, thereby enhancing the overall integrity of our survey results.



Transparent Limitations in Reporting

It is important to explicitly state the limitations posed by the use of open-source data within our reports. Readers should be informed that while the data can inform trends and patterns, it may not fully capture the complexity of the investigated topic.

We will include specific disclaimers addressing potential limitations and the context of the data used, fostering an understanding that our conclusions are grounded in the quality and nature of the available information.

Ethical Considerations and Compliance

Adhering to ethical standards when using open-source data is paramount.

When incorporating open source data into building survey reports, adhering to ethical standards is paramount to ensure accuracy, transparency, and respect for privacy. It is essential to verify the credibility and reliability of the open source data used, acknowledging the original sources and adhering to any associated licensing agreements.

Additionally, sensitivity to privacy issues is critical; data should be anonymized where necessary to protect individual identities. Engaging with stakeholders and communities affected by the data is also vital for maintaining trust and responsibility. By prioritizing ethical guidelines, we not only uphold the integrity of our reports but also contribute to a more respectful and informed use of publicly available information.

Maintaining ethical standards when using open source data in building survey reports is essential to foster trust and uphold integrity in our work. Firstly, it is crucial to ensure that the data is sourced from reputable platforms to guarantee its accuracy and validity. Proper attribution must be given to original creators, respecting copyright and licensing terms associated with the data.

Additionally, ethical considerations include the responsible use of data, particularly concerning sensitive information that could compromise individual privacy. To enhance transparency, survey reports should clearly disclose the types of data used and their sources. By adhering to these ethical principles, we not only enhance the quality of our reports but also support the collective effort to promote ethical data practices within the broader community.